

NCDOT approved Kinloch Drive on the 17 of June, 2008 recorded in Davidson Co. register of deeds at PB 53 PG 16

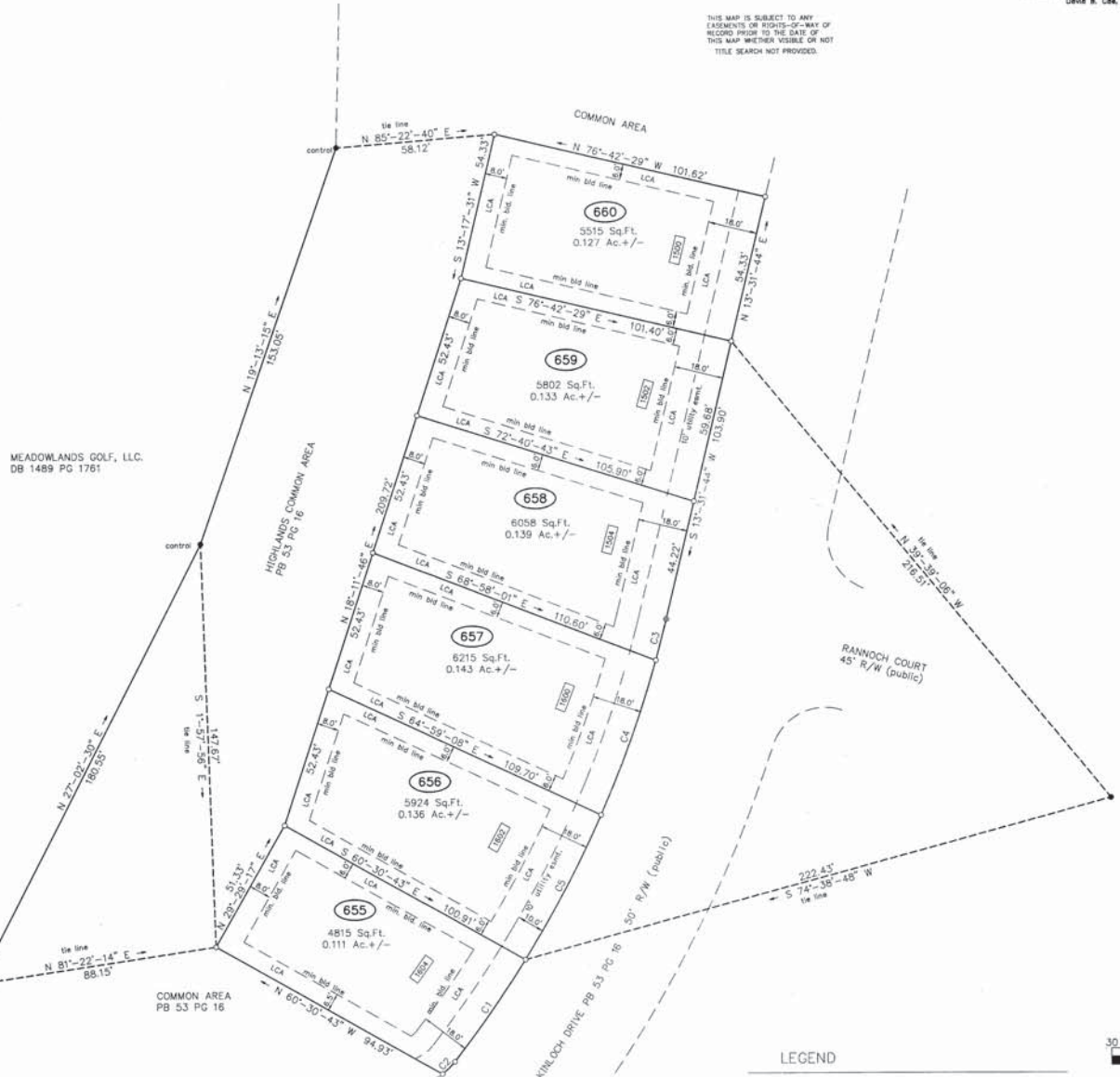
**PLANNING DEPARTMENT / REVIEW OFFICER
FINAL SUBDIVISION PLAT APPROVAL**
This is to certify that this plat meets the recording requirements of the Unified Development Ordinance Subdivision Regulations for Davidson County.
Scott Lyman
Review Officer
Approved: _____
Date: 03/25/15

I, David B. Coe, certify that this plat was drawn under my supervision from an actual survey made under my supervision. (Description recorded in PB 53 PG 16), that the boundaries not surveyed are clearly indicated as such, that the ratio of precision as calculated is 1 : 10,000, and that this plat was prepared in accordance with G.S. 47-38 as amended. Witness my original signature, registration number and seal this 25th day of March in the year of our Lord 2015.
David B. Coe
Seal
David B. Coe
NC PLS #3320



I, David B. Coe, PLS #3320, certify that one or more of the following as indicated:
 X a. That this plat creates a subdivision within the area of a county or municipality which has an ordinance regulating parcels of land.
 b. That this plat is of a survey located in such portions of a county or municipality which is unregulated as to an ordinance regulating parcels of land.
 c. That this plat is of a survey of an existing parcel or parcels of land.
 d. That this plat is of a survey of another category, such as the recombination of existing parcels, a court-ordered survey or other exception to the definition of a subdivision.
 e. That the information available to this surveyor is such that I am unable to make a determination to the best of my professional ability as to provisions contained in a. through d. above.

FILED FOR REGISTRATION AT _____ O'CLOCK AM PM
 _____, 20____ AND RECORDED IN _____
 PLAT BOOK _____ AT PAGE _____
 Filing Fee Paid _____
 by _____
 DEPUTY-ASSISTANT



THIS MAP IS SUBJECT TO ANY EASEMENTS OR RIGHTS-OF-WAY OF RECORD PRIOR TO THE DATE OF THIS MAP WHETHER VISIBLE OR NOT. TITLE SEARCH NOT PROVIDED.

I HEREBY CERTIFY THAT THE SUBDIVISION PLAT SHOWN HEREON HAS BEEN FOUND TO COMPLY WITH THE SUBDIVISION REGULATIONS FOR DAVIDSON COUNTY NORTH CAROLINA, AND THAT SUCH PLAT HAS BEEN APPROVED ACCORDING TO THE PROCEDURES FOR APPROVAL OF SUBDIVISIONS.
 3/25/15
 DATE
 SUBDIVISION ADMINISTRATOR/CHAIRMAN
 PLANNING BOARD

ANY DEVELOPMENT OR CONSTRUCTION ON THE LOTS SHOWN ON THIS PLAT MUST MEET ALL THE BUILDING AND DEVELOPMENT REGULATIONS OF THE APPROPRIATE GOVERNMENT AGENCY.
 3/25/15
 DATE
 SUBDIVISION ADMINISTRATOR / CHAIRMAN
 PLANNING BOARD

CERTIFICATE OF APPROVAL FOR RECORDING
 I certify that the plat shown hereon complies with the watershed protection ordinance and is approved by the watershed administrator for recording in the Register of Deeds office.
 3/25/15
 Date
 Watershed adm./Chmn. Review Board

CERTIFICATE OF OWNERSHIP AND DEDICATION
 I/we hereby certify that I/we and/or the owner(s) of the property shown and described hereon, which is located in the subdivision jurisdiction of the County of Davidson and that I/we hereby adopt this plan of subdivision with my/our free consent, establish minimum building setback lines, and dedicate all streets, alleys, walks, parks, and other sites and easements to public or private use as noted.
 date owner
 3/25/15
 date owner
 date owner

owner/developer:
 MEADOWLANDS DEVELOPMENT, LLC.
 PO BOX 10
 BETHANIA, NC, 27010
 336-922-4000

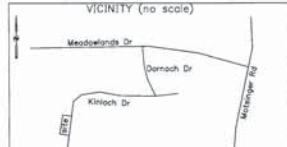
NOTE: SUBJECT TO MEADOWLANDS HOA COVENANTS IN DB 1600 PG 0233 and HIGHLANDS COVENANTS IN DB 1740 PG 1005

Plat Book: 63 Page: 17
 3/25/2015 11:16:01 AM
 David T. Rickard,
 Register of Deeds
 Davidson County, NC

Curve	Radius	Chord Bearing and Distance	Arc Length
C1	425.00'	S 34°-52'-09" W 45.41'	45.43'
C2	25.00'	S 45°-14'-18" W 6.36'	6.38'
C3	425.00'	S 14°-34'-20" W 15.48'	15.48'
C4	425.00'	S 19°-39'-49" W 60.00'	60.05'
C5	425.00'	S 27°-45'-33" W 60.00'	60.05'

LEGEND

Line Surveyed (or calculated)	—————
Line Not Surveyed	- - - - -
Iron Found	●
Iron Set	○
Point not monumented	○
Stream or Creek	~~~~~
Concrete monument	■
Power Pole	⊕
Sanitary Sewer Man Hole	⊙
Water Meter	⊗
Electric Overhead Line	—○—
Street Address	□
Sight Easement	▭
Limited Common Area	LCA



PLAT MAP OF THE MEADOWLANDS, Section One, THE HIGHLANDS, Phase Four, Revision of Lots 655-660

1" = 30'
 23 MAR 2015
 DAVIDSON CO. NC, ABBOTTS CREEK TOWNSHIP TAX MAP 128
 REVISION OF LOTS 655-660 PB 53 PG 16
 DB 1621 PG 682/DB 1944 PG 752/DB 1413 PG 685
 COE FORESTRY & SURVEYING F-01411
 P.O. BOX 36
 WOLBURG, NC 27373 (336) 769-4673

AREA BY COORDINATES
 PRECISION 1 : 10,000 +

Job # ML655_660

KINLOCH DRIVE WAS APPROVED AND SIGNED OFF BY CHRIS CORRIGHER ON JUNE 17, 2008 AND RECORDED IN PB 53 PG 16 AT THE DAVIDSON CO REGISTER OF DEEDS.

PLANNING DEPARTMENT / REVIEW OFFICER
FINAL SUBDIVISION PLAT APPROVAL
This is to certify that this plat meets the recording requirements of the Unified Development Ordinance Subdivision Regulations for Davidson County.
SCOTT LEONARD
Review Officer
Approved: _____
This the 4th day of June, 2014 DAVIDSON COUNTY NORTH CAROLINA

I, David B. Coe, certify that this plat was drawn under my supervision from an actual survey made under my supervision, (description recorded in PB 53 PG 16), that the boundaries not surveyed are clearly indicated as such, that the ratio of precision as calculated is 1 : 10,000+, and that this plat was prepared in accordance with G.S. 47-30 as amended. Witness my original signature, registration number and seal this 14th day of June in the year of our Lord 2014.
David B. Coe
NC PLS #3320



I, David B. Coe, PLS #3320, certify to one or more of the following as indicated:
 a. That this plat creates a subdivision within the area of a county or municipality which has an ordinance regulating parcels of land.
 b. That this plat is of a survey located in such portions of a county or municipality which is unregulated as to an ordinance regulating parcels of land.
 c. That this plat is of a survey of an existing parcel or parcels of land.
 d. That this plat is of a survey of another category, such as the recombination of existing parcels, a court-ordered survey or other exception to the definition of a subdivision.
 e. That the information available to this surveyor is such that I am unable to make a determination to the best of my professional ability as to provisions contained in a, through d, above.

FILED FOR REGISTRATION AT _____ O'CLOCK AM PM _____, 20____ AND RECORDED IN _____
 PLAT BOOK _____ AT PAGE _____
 Filing Fee Paid: _____
 by _____ DEPUTY-ASSISTANT

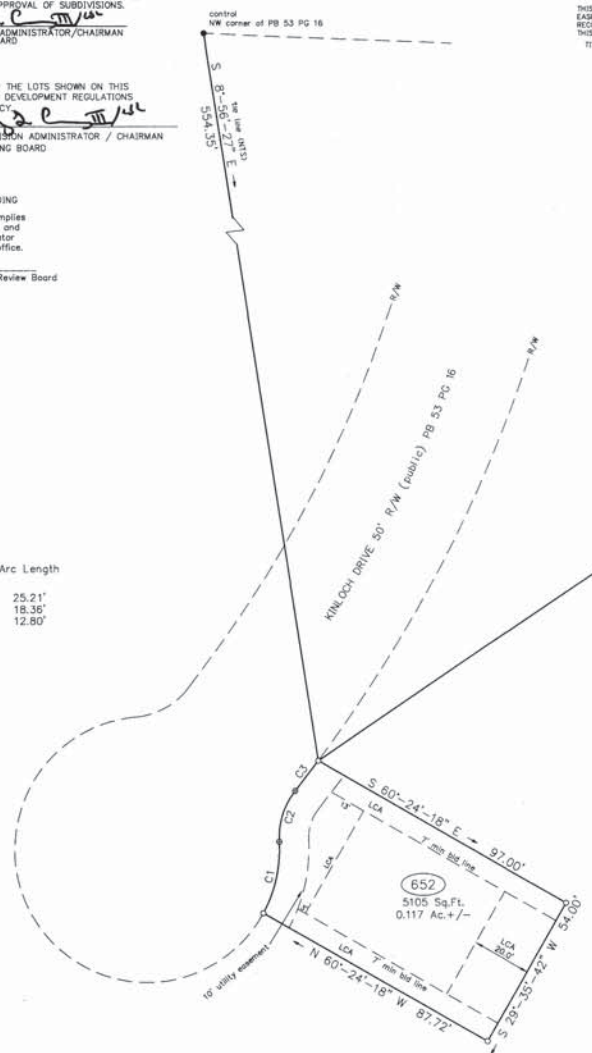
I HEREBY CERTIFY THAT THE SUBDIVISION PLAT SHOWN HEREON HAS BEEN FOUND TO COMPLY WITH THE SUBDIVISION REGULATIONS FOR DAVIDSON COUNTY NORTH CAROLINA, AND THAT SUCH PLAT HAS BEEN APPROVED ACCORDING TO THE PROCEDURES FOR APPROVAL OF SUBDIVISIONS.
 DATE 6/4/14
David B. Coe
 SUBDIVISION ADMINISTRATOR/CHAIRMAN PLANNING BOARD

ANY DEVELOPMENT OR CONSTRUCTION ON THE LOTS SHOWN ON THIS PLAT MUST MEET ALL THE BUILDING AND DEVELOPMENT REGULATIONS OF THE APPROPRIATE GOVERNMENT AGENCY.
 DATE 6/4/14
David B. Coe
 SUBDIVISION ADMINISTRATOR / CHAIRMAN PLANNING BOARD

CERTIFICATE OF APPROVAL FOR RECORDING
 I certify that the plat shown hereon complies with the watershed protection ordinance and is approved by the watershed administrator for recording in the Register of Deeds office.
 DATE 6/4/14
 Watershed adm./Chmn. Review Board



Curve	Radius	Chord Bearing and Distance	Arc Length
C1	45.00'	N 12°-28'-34" E 24.88'	25.21'
C2	25.00'	N 17°-27'-54" E 17.95'	18.36'
C3	475.00'	N 37°-43'-50" E 12.80'	12.80'



THIS MAP IS SUBJECT TO ANY EASEMENTS OR RIGHTS-OF-WAY OF RECORD PRIOR TO THE DATE OF THIS MAP WHETHER VISIBLE OR NOT. TITLE SEARCH NOT PROVIDED.

CERTIFICATE OF OWNERSHIP AND DEDICATION
 I/we hereby certify that I/we (and/or) the owner(s) of the property shown and described herein, which is located in the subdivision jurisdiction of the County of Davidson and that I/we hereby adopt this plan of subdivision with my/our free consent, establish minimum building setback lines, and dedicate all streets, alleys, walks, parks, and other sites and easements to public or private use as noted.

MEADOWLANDS DEVELOPMENT, LLC
 DATE 6/4/14
 owner **M. Maynor**

owner/developer:
 MEADOWLANDS DEVELOPMENT, LLC.
 PO BOX 10
 BETHANIA, NC 27010
 336-922-4000

Subject to Meadowlands HOA covenants in DB 1600 PG 0233 and Highlands covenants in DB 1740 PG 1005

MEADOWLANDS DEVELOPMENT, LLC.
 PB 53 PG 16
 DB 1413 PG 685

MEADOWLANDS DEVELOPMENT, LLC.
 PB 53 PG 16
 DB 1413 PG 685

LEGEND

- Line Surveyed (or calculated) ————
- Line Not Surveyed - - - - -
- Iron Found ●
- Iron Set ○
- Point not monumented ○
- Stream or Creek ————
- Concrete monument ■
- Power Pole ⊕
- Sanitary Sewer Man Hole ⊕
- Water Meter ⊕
- Electric Overhead Line ⊕
- Street Address ⊕
- Sight Easement ⊕
- Limited Common Area []



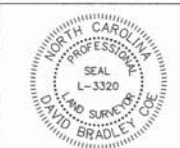
PLAT MAP OF The Meadowlands, Section One The Highlands, Phase Four, Lot 652 (revised)	
1" = 30'	AREA BY COORDINATES
2 JUNE 2014	PRECISION 1 : 10,000 +
DAVIDSON CO. NC. ABBOTTS CREEK TOWNSHIP TAX MAP 12B REF: DB 1413 PG 685 / PB 53 PG 16	
COE FORESTRY & SURVEYING F-01411 P.O. BOX 36 Wallburg, NC 27373 (336) 769-4673	Job # HLD652

Plat Book: 61 Page: 65
 6/4/2014 11:10:27 AM
 David T. Rickard,
 Register of Deeds
 Davidson County, NC

DEPARTMENT OF TRANSPORTATION
DIVISION OF HIGHWAYS
PROPOSED SUBDIVISION ROAD
CONSTRUCTION STANDARDS CERTIFICATION
APPROVED *Charles T. Rickard*
(DISTRICT ENGINEER)
DATE 6-17-08

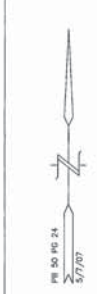
PLANNING DEPARTMENT / REVIEW OFFICER
FINAL SUBDIVISION PLAT APPROVAL
This is to certify that this plat meets the recording requirements of the United
Development Ordinance Subdivision Regulations for Davidson County.
I, Scott Leonard, Review Officer
of Davidson County, certify that the map or plat of which this certification
is affixed meets all the requirements for recording.
Approved: *Scott Leonard*
New Review Officer
This the 17 day of June, 2008 DAVIDSON COUNTY
NORTH CAROLINA

I, David B. Coe, certify that this plat was drawn under my supervision
from an actual survey made under my supervision. (Description recorded in
DB xxx PG xxx), that the boundaries not surveyed are clearly indicated
as such, that the ratio of precision as calculated is 1 : 10,000+, and that
this plat was prepared in accordance with G.S. 47-30 as amended.
Witness my hand and signature, registration number PLS #3320 and the
day of June in the year of our Lord 2008
David B. Coe
NC PLS #3320



I, David B. Coe, PLS #3320, certify to one or more of the following as indicated:
 a. That this plat creates a subdivision within the area of a county or municipality
 which has an ordinance regulating parcels of land.
 b. That this plat is of a survey located in such portions of a county or municipality
 which is unregulated as to an ordinance regulating parcels of land.
 c. That this plat is of a survey of an existing parcel or parcels of land.
 d. That this plat is of a survey of another category, such as the recombination of
 existing parcels, a court-ordered survey or other exception to the definition
 of a subdivision.
 e. That the information available to this surveyor is such that I am unable to make
 a determination to the best of my professional ability as to provisions contained
 in a. through d. above.
 David B. Coe, PLS #3320

FILED FOR REGISTRATION AT _____ O'CLOCK AM PM
 _____, 20____ AND RECORDED IN
 PLAT BOOK _____ AT PAGE _____
 Filing Fee Paid _____
 by _____ DEPUTY-ASSISTANT



Note: This plat is for the purpose of
creating building envelopes. Homes
are to be "cut-built" surveyed and conveyed
with reference thereto upon completion
and prior to occupancy.

THIS MAP IS SUBJECT TO ANY
EASEMENTS OR RIGHTS-OF-WAY OF
RECORD PRIOR TO THE DATE OF
THIS MAP WHETHER VISIBLE OR NOT
TITLE SEARCH NOT PROVIDED.

I HEREBY CERTIFY THAT THE SUBDIVISION PLAT SHOWN HEREON HAS BEEN
FOUND TO COMPLY WITH THE SUBDIVISION REGULATIONS FOR DAVIDSON
COUNTY NORTH CAROLINA, AND THAT SUCH PLAT HAS BEEN APPROVED
ACCORDING TO THE PROCEDURES FOR APPROVAL OF SUBDIVISIONS.
 DATE 6-17-08
David B. Coe
 SUBDIVISION ADMINISTRATOR / CHAIRMAN
 PLANNING BOARD

ANY DEVELOPMENT OR CONSTRUCTION ON THE LOTS SHOWN ON THIS
PLAT MUST MEET ALL THE BUILDING AND DEVELOPMENT REGULATIONS
OF THE APPROPRIATE GOVERNMENT AGENCY.
 DATE 6-17-08
David B. Coe
 SUBDIVISION ADMINISTRATOR / CHAIRMAN
 PLANNING BOARD

CERTIFICATE OF APPROVAL FOR RECORDING
 I certify that the plat shown herein complies
with the watershed protection ordinance and
is approved by the watershed administrator
for recording in the Register of Deeds office.
 DATE 6-17-08
 Watershed adm./Chmn. Review Board

CERTIFICATE OF OWNERSHIP AND DEDICATION
 (We) hereby certify that (we) and/or the owner(s)
of the property shown and described hereon, which
is located in the subdivision jurisdiction of the
County of Davidson and that (we) hereby adopt this
plan of subdivision with (your) free consent, establish
minimum building setback lines, and dedicate all streets,
alleys, walks, parks, and other sites and easements
to public or private use as noted.
 date _____
 MEADOWLANDS DEVELOPMENT, LLC.
 date 6/17/08 owner *Thelma Reece*
 date _____ owner _____

Owner/Developer:
MEADOWLANDS DEVELOPMENT, LLC.
PO BOX 10
BETHANIA, NC, 27010
336-922-4000

THELMA REECE
DB 554 PG 699

TOTAL AREA SUBDIVIDED 7.491 Ac. +/-
 INCLUSIVE OF ROADS & COMMON AREAS.
 AREA OF ROADS: 0.895 Ac. +/-

@ Lots have been re-platted to Davidson County Plat Book 66 P 4
 + Lots have been re-platted to Davidson County Plat Book 63 Pg 17
 * Lots have been re-platted to Davidson County Plat Book 58 Pg 68.
 # Lot has been re-platted to Davidson County Plat Book 61 Pg 65.

Plat Book: 53 Page: 16
 6/17/2008 10:01:52 AM
 David T. Rickard,
 Register of Deeds
 Davidson County, NC

MEADOWLANDS GOLF, LLC.
DB 1489 PG 1761

MEADOWLANDS DEVELOPMENT, LLC.
DB 1413 PG 685
 FUTURE DEVELOPMENT
 11.214 Ac. +/-

Line	Bearing	Distance
L1	S 84°-46'-07" W	113.96'
L2	S 87°-43'-49" W	106.95'
L3	S 83°-00'-08" W	58.70'
L4	N 71°-16'-02" W	90.86'
L5	S 43°-12'-47" W	57.47'
L6	S 37°-56'-36" W	76.71'
L7	S 70°-34'-08" W	52.03'
L8	S 13°-31'-44" W	125.47'
L9	S 76°-28'-16" E	58.15'
L10	N 13°-31'-44" E	172.89'

Curve	Radius	Chord Bearing and Distance	Arc Length
C1	325.00'	S 27°-08'-53" W 153.05'	154.50'
C2	20.00'	S 31°-28'-16" E 28.28'	31.42'
C3	172.50'	N 65°-34'-01" W 65.26'	65.66'
C4	127.50'	N 65°-05'-46" W 45.92'	46.17'
C5	20.00'	S 60°-42'-22" W 27.19'	29.90'
C6	475.00'	S 28°-11'-35" W 170.02'	170.94'
C7	25.00'	N 17°-27'-54" W 17.95'	18.36'
C8	45.00'	N 49°-12'-55" W 64.35'	211.05'
C9	25.00'	N 61°-32'-12" E 20.02'	20.60'
C10	425.00'	N 45°-43'-49" W 178.65'	181.01'
C11	375.00'	N 25°-14'-31" E 152.26'	153.32'

CHARLES McGEE
 DB 242 PG 91
 DB 340 PG 216

LEGEND

- Line Surveyed (or calculated) ————
- Line Not Surveyed - - - - -
- Iron Found ●
- Iron Set ○
- Point not monumented ○
- Stream or Creek ————
- Concrete monument [Symbol]
- Power Pole [Symbol]
- Sanitary Sewer Man Hole [Symbol]
- Well [Symbol]
- Electric Overhead Line [Symbol]
- Street Address [Symbol]



PLAT MAP OF THE MEADOWLANDS, Section One
 THE HIGHLANDS, Phase Four

1" = 100'	AREA BY COORDINATES	survey by DH/JC/CJ
19 MAY 2008	PRECISION 1 : 10,000 +	drafted by MDC

DAVIDSON CO, NC, ABBOTTS CREEK TOWNSHIP TAX MAP 12A
 P/O TAX LOT 1 REF: DB 1413 PG 685

COE FORESTRY & SURVEYING P.O. BOX 36 Wallburg, NC 27373 (336) 769-4673	Job # HIGHLAND4
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