

**DESIGN GUIDELINES**

**FOR**

**MEADOWLANDS**

**RESIDENTIAL AND GOLF**

**COMMUNITY**



**as of June 29, 2017**

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## **CHAPTER 1 INTRODUCTION**

Meadowlands is a master planned community proposed to encompass approximately 650 acres in Northeast Davidson County, North Carolina, off Highway 109 near Wallburg, NC.

Meadowlands Homeowners Association, Inc. has been established to administer a Declaration of Covenants, Conditions and Restrictions for the Meadowlands community.

These design guidelines are to serve a minimum set of design principles and standards for the Meadowlands community. They clearly outline, illustrate and define design objectives to achieve the high quality, desired character and style of Meadowlands. It is intended that these guidelines be used by any builder or owner within Meadowlands and also that they serve as a guide for future planning and design over time as the community evolves so that Meadowlands will become an attractive, cohesive and functional environment to live, work and play in.

The design guidelines are intended to supplement other documents requiring compliance, such as the Declaration of Covenants, Conditions and Restrictions. Because the design guidelines are subject to change, it is always advisable to ensure you have the latest copy with any updates or amendments. An Architectural Review Committee (ARC) has been established to assist in implementation of the design guidelines and to insure individual builder/owner compliance and compatibility. The Developer of Meadowlands, or it assigns, as long as it owns a lot in Meadowlands, shall appoint the members of the ARC which shall review and approve all initial construction which, in its sole determination, meet the architectural guidelines. Subsequent modifications to the dwellings and lots by the respective homeowners must be approved in advance by the Modifications Committee as provided for in the Declaration of Covenants, Conditions and Restrictions.

These guidelines or portions thereof are subject to change by the Developer or its assigns at any time without notice. The Developer reserves the right to waive any of the guidelines as they pertain to the initial construction of a dwelling if the Developer determines, in its sole discretion, that one or more of the guidelines should be waived.

## CHAPTER 2 MEADOWLANDS GENERAL GUIDELINES

- 2.0 **Master Plan Concept.** Meadowlands is based on a multi-use development concept that incorporates public golf facilities, commercial establishments, recreation facilities and a variety of residential housing types within one master planned, well-organized environment.
- 2.1 **Land Use.** Specific land areas have been designated on the master plan for residential neighborhoods and as associated open space network, recreational areas, etc. Each area is further enhanced and defined with community wide program of amenities such as landscaping, signage, screening, etc.
- 2.2 **Road Network.** Many of the neighborhoods are accessed by Meadowlands Drive an arterial road that runs through the property. A portion of Meadowlands Drive is a divided road with and significant landscaping. The first phases of development will take access off of Meadowlands Drive and provide access to the golf course and the pool and recreation area.
- 2.3 **Utilities.** The master plan provides for a phased approach to utility development. All community utilities will be underground.
- 2.4 **Neighborhood Concept.** The neighborhood concept of development is a major design concept for Meadowlands. It is intended to create a series of smaller "neighborhood" living environments within distinct land use areas.

The physical separation between neighborhoods will be created through the use of natural land forms, drainage ways, roads, golf course and open space edges, wherever possible.

- 2.5      Recreation and Open Space Concept.** Meadowlands is designed to create a community with a unique recreation and open space system. The open space and common area system is structured to be an integral part of every neighborhood.

The open space system will provide pedestrian linkages to recreation areas, the golf course and other neighborhoods. Pedestrian circulation in the form of sidewalks along Meadowlands Drive is also planned.

- 2.6      Phasing** . Phasing provides for the logical extension of the development of the residential community system and utilities throughout the property and for the completion of neighborhoods. It is intended to develop the community as a set of neighborhoods which can each stand on its own. More than one neighborhood may be under development at any one time.

Initial phases of development will access off of Motsinger Road and will include the Meadowlands Drive to access several neighborhoods, the golf club, and the pool and tennis facility. Phasing will continue in a manner that permits completion of the community in a logical sequence, providing adequate ingress and egress from the project.

## CHAPTER 3 SINGLE FAMILY DEVELOPMENT GUIDELINES

**3.1 General Purpose and Intent of Guidelines.** The design guidelines for single family lots within Meadowlands provide a framework for coordinated development and integration of various site aspects to create a cohesive, pleasant community. Through the use of these design guidelines it is intended that elements of the natural landscape will be integrated with specific site design to establish a unified and environmentally sensitive place to live.

**3.1.1 Conformity with Design Guidelines.** These guidelines are supplemental to the Declaration of Covenants, Conditions and Restrictions for Meadowlands and any participating builder or owner agreement. **Noncompliance with these guidelines is grounds for disapproval of plans.**

**3.1.2 General Responsibilities.** The Developer is responsible for providing a hierarchy of public streets, amenities, drainage facilities and infrastructure of all utilities to the lot. The sites are delivered as lots recorded and approved on subdivision plans.

The builder/owner is responsible for developing and maintaining individual lots in a manner prescribed in the Declaration of Covenants, Conditions and Restrictions, other participating building/owner agreements executed with the master developer and these design guidelines. In addition, compliance is required with any applicable state, county or local ordinances including, but no limited to, subdivision ordinance, floodway ordinance, engineering and building standards and state and federal wetlands regulations.

Any and all development of homes or lots must first be approved by the Architectural Review Committee (ARC) prior to commencing construction. Complete plans and specifications as outlined in Chapter Six (6) must be submitted to the ARC for review.

**3.2 General Lot Standards** Every single family lot is required to have enclosed parking for at least two automobiles. Carports may be permitted by approval of the ARC.

**3.2.1 Single Family Lot Standards.** All single family lots are governed by the Davidson County zoning and subdivision ordinances. References should be made for all pertinent information. Neighborhood building setbacks, side yard; minimums; rear yard, setbacks, etc. may vary. Refer to the recorded plat and/or recorded covenants from each neighborhood for setback information.

### **3.3 General Site Layout for Specific Lot Conditions**

- 3.3.1**      **Typical Corner Lot** A corner lot on an interior street is a lot bounded on two sides by two public streets interior to the neighborhood. Refer to the recorded plat for special setback requirements and screening plans for corner lots.

Detached garages and outbuildings are not allowed unless approved by the ARC.

- 3.3.2**      **Lot Abutting the Golf Course** A lot abutting the golf course is considered any lot that has property bordering the Meadowlands Golf Course. .

Lots abutting the golf course need to derive the full potential of the open space views to the golf course. The rear yard of these lots must be landscaped in a similar fashion as the front yard.

Although the golf course has been designed with adequate distance between fairways and residential lots, special design considerations for building, site layouts and planting should be addressed to provide for the possibility of errant golf balls. Strategic siting and landscaping should be considered for additional safeguards.

Detached garages and outbuildings are not allowed unless approved by the ARC.

### **3.4 Typical Neighborhood Street**

- 3.4.1**      **Typical Neighborhood Street Layout and Maintenance** Residential streets within the neighborhoods at Meadowlands are located within dedicated right-of-way. Maintenance of the area between the back of the curb (or pavement edge if no curb is present) and a single family lot property line is the responsibility of that lot's builder/owner and must be done in the same manner as the rest of the front yard.

### **3.5 Driveways**

- 3.5.1 Driveway Layout Requirements.** The builder is required to build a driveway from the back of street curb to the garage. Typically the curb is a roll type where no break in the curb is required.

Concrete driveways are required unless otherwise approved by ARC and are to be a minimum of four (4) inches thick over a compacted sub-grade. Expansion joints between the curb and the driveway are also required.

A four (4) inch PVC sleeve is required to be installed under each driveway at two (2) feet back of curb for future utility use.

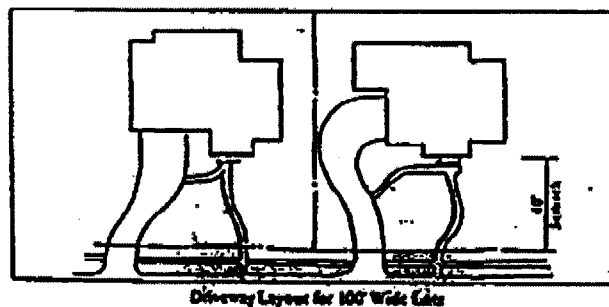
- 3.5.2 Alternative Driveway Designs** Alternative driveway designs, such as a motor courts, circular drives, etc. may be used to provide additional visual interests.

Motor courts at the front entry are allowed where appropriate, especially in neighborhoods with wider lots. Where sufficient lot width exists, circular drives are allowed.

Any driveway design shall not cover more than 35% of the front yard. The remaining front yard must be maintained for grass and landscaping. Driveway widths will be regulated by Davidson County requirements where applicable.

The driveway can never abut the main building foundation except as necessary to enter the garage.

On lots that are 100' or wider at the building line, which may have a greater setback, the builder/owner is encouraged to incorporate a curvilinear, meandering driveway layout unless site constraints prohibit this type of design.

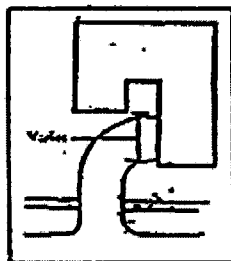




### 3.6 Garage

**3.6.1 General Garage-Lot Relationships.** The placement of garages and driveways has a great effect on the overall street scene aesthetic and on the architectural interest of each specific building. A street scene with emphasis on residences instead of garages and driveways is more visually interesting. For that reason certain garage placements on a lot are discouraged.

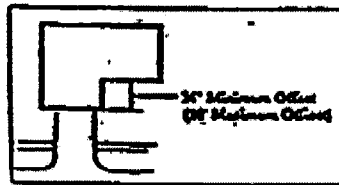
Side loaded attached garages are preferred to front load attached garages.



#### **Preferred Side Loaded Garage**

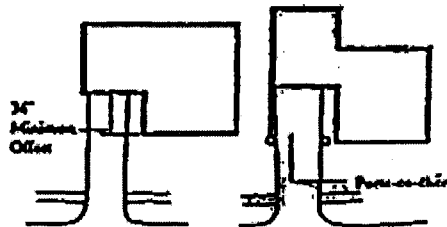
When constructing a front garage, a thirty-six (36) inch minimum offset is preferred to allow for some variation of facade, a ten (10) feet maximum offset is suggested to keep the house from appearing to be all garage.

### 3.6.1 continued



**Front Loaded Garage**

Front loaded attached garages, which are recessed, diminish the effect of the garage on the street scene. A minimum thirty-six (36) inch offset from the major facade of the house is recommended. A greater setback distance is encouraged. A porte-cochere that does not extend past the major facade, constructed of the same building materials as part of the house is allowed.



Side loaded attached garages on corner lots are acceptable as long as architectural details are provided to avoid an overwhelmingly blank facade.

Rear entry garages are prohibited on golf course unless otherwise approved by the ARC. Garage doors may not face Meadowlands Drive unless otherwise approved by the ARC.

**3.8 Grading and Drainage.** In general the builder is responsible for conducting all grading and construction operations in a neat, orderly, timely way. Streets are to be left clean and free of dirt and debris. Any work previously done within rights-of-way, common open space or other lots, etc. which is damaged by the builder shall be promptly and properly repaired, such as cable cuts, curb damage, etc.

**3.8.1 Positive Drainage Requirements.** The builder/ owner is responsible for providing positive, drainage away from the house for each lot.

The builder/owner is responsible for not concentrating and discharging storm water as a point source from one lot to any other lot or area within Meadowlands unless it is within a prescribed drainage area and indicated on an overall plan.

The builder is responsible for attempting to use and preserve natural drainage ways to the extent possible, and for preserving existing trees where possible (section 3.9)

Roof drainage must be handled so as to not create an erosion problem, or a negative drainage problem. If used, gutters and downspouts must provide positive drainage away from the building.

**3.8.2 Erosion Control Requirements.** The builder/owner is responsible for providing erosion control measures in compliance with state and local requirements.

**3.8.3 Special Grading Situations.** In general, steep slopes of greater than 3:1 (33% grade) should be broken with retaining walls or terraces. If the height is excessive, two retaining walls should be used, separated by a planting area, but steep slopes greater than 3:1 (33%) may be allowed in special conditions and must be reviewed with the ARC.

The builder is encouraged to terrace large graded slopes less than 3:1 (33% grade) Terraced lawns, especially in front yards and rear yards of lot abutting the golf course are encouraged.

Swales are to be graded shallow but wide to slow run-off. Steep abrupt cuts are to be avoided.

Transitions back to natural grade should be smooth.

Berms are to be graded in gentle, undulating, "naturalistic" shape, not as straight mounds with steep slopes. Berms should not be higher than 48" from the street. In no case should a berm be placed in such a way as to obstruct the site triangle of any public street or the site triangle for a driveway entering a public street.

Lot grading may not alter grading within the street right-of-way. Smooth transitions should be made throughout.

- 3.9 **Tree Protection** The protection of healthy stands of mature trees throughout the project is a high priority to the overall design concept, therefore the builder is encouraged to save areas of trees within individual lots whenever feasible. The saving of these trees, wherever possible, will give the community a mature appearance and will help to create rich ambiance of community life at Meadowlands.

Removal of any tree 8" DBH or greater in the rear yards of golf course lots or lots abutting Meadowlands Drive will require the prior approval of the ARC. The ARC recognizes that all trees can not be saved in all situations, but every effort should be made to save every tree possible.

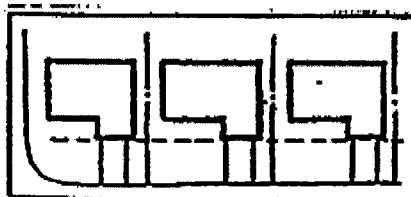
In the front yard of all lots builders must designate a grouping (or groupings) of trees to be saved during the construction process, if trees are present. A continuous temporary barricade must be placed around the drip line of trees to be saved and all construction materials and work are to stay out of the tree save area. Utility locations should be designed around the trees to be saved wherever possible.

- 3.10 **Architecture** The architectural guidelines for Meadowlands are intended to establish design standards which will form the basis for good creative designs and neighborhood continuity. The guidelines are not intended to limit creativity or to place undue hardships upon the builders in terms of design or construction. The design of each residence should inspire a sense of individuality, while fitting into the character of Meadowlands.

- 3.10.1 **General Responsibility** The construction of any landscaping, irrigation, screening, etc. along Meadowlands Drive, development of any common open space amenities, roads and cul-de-sacs, islands (including planting and paving) entry features, walls and graphics at entrances to each neighborhood, and any lighting pertaining to these areas will be the responsibility of the Developer.

The builder/owner is responsible for individual site development and maintenance including the area within the public street right of way (between the back of the street curb and property lines). The owners of corner lots shall be responsible for the right of way for both streets. The builder/owner is responsible for compliance with these design guidelines.

- 3.10.2 **Streetscape and Site Massing** The builder/owner is encouraged to create a visually interesting streetscape through the use of varied facades, elevations, materials, colors and arrangements along the street. The ARC discourages homes of substantially similar elevations, details or colors to be built adjacent or across the street from each other.



**Monotonous Streetscape**

- 3.10.3 *Elevation and Facade Articulation*** There is no one "Meadowlands" style. However style should emerge naturally out of good planning, relationship of plan to elevation, form following function, and the use of a selected range of materials.



**Preferred Treatment**

It should be assumed that, the houses will be seen from all angles and that there will be a continuity of colors, materials, and details on all elevations. However, priority should be given to those sides which are visible from streets and walkways. The most articulate elevations should be those which are in public view.

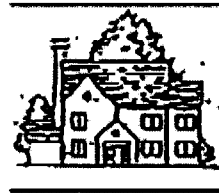


**Avoid Disjointed Styles**

The exterior elevation should be a combination of planes and shapes designed to be visually interesting. All two story residences on lots of 100' or greater at the building line are encouraged to have single story elements. All single story houses should include some variation of the ridge line.



**Standard 2 Story**



**Preferred 2 Story**

Homes located on lots which face the golf course or Meadowlands Drive, will require additional attention to exterior window treatment on those facades. Windows without trim are not appropriate in such locations. Window treatments may include shutters, window capitals, window trim or other details for visual interest, but will include brick molding as a minimum in all such situations. Plans submitted by builders for homes to be located on such lots are subject to this additional requirement. Dimensional shingles are required in every neighborhood. Decking in areas facing the golf course or visible from the Meadowlands Drive or main artery roads shall be done with attractive rail and picket designs, and lattice and low screening or landscaping will be required. Painting of decks and rails is considered highly desirable.

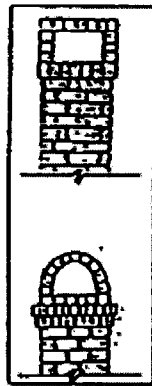
**3.10.4 Chimneys** It is recommended that every residence incorporate a minimum of one fireplace. In order to use the chimney as a repetitive design element throughout the community, the chimney structure should be expressed on the exterior of each residence in one of the following manners:

If placed on an exterior wall, a complementary material, masonry for instance, should be used.

The height of the chimney should be in proportion to the roofline.

Chimneys which barely peek above or squat on the roof are not visually bold enough and therefore, are generally unacceptable.

Chimneys can be used to establish an ornamental or thematic direction within a given village. No exposed metal fireplace flue will be permitted. Broad, massive chimneys will be encouraged and small, spindly shaped ones will not be approved. Ornamental though detailing is encouraged. Fireplace chimney must be brick, stone stucco, or siding. Chimneys clad with siding are not permitted on the front elevation of the house.



**Preferred Treatment**

**3.10.5 Entrances.** The builder/owner is encouraged to incorporate front porches in their design as a transition from semi-public to private space.

**3.10.6 Window Openings** Care should be given to the size, type or organization of all windows. Scattered windows tend to create awkward, face like shapes and should be avoided. The treatment of windows on the side facade of corner lots should be the same as the treatment of windows on the front facade.

**3.10.7 Roof Articulation** Avoid flat roofs. Minimum slope on all roofs should be a 7 in 12 pitch unless otherwise approved by the ARC. A combination of roof pitches may be used if they are integrated with the design of the house.

No vent stacks will be allowed in the front of the house. Vent stacks are to be at the rear of the house unless this location conflict with local code requirements.

Large front-facing gables should be avoided unless they are broken into small scale elements. Otherwise, open gables are better facing toward side yards.

Front-facing gables are particularly unattractive when placed over the garage door. The unshielded exposure of garage doors is helped greatly by the way of a low roof line over the door.



Avoid

Changes in roof geometry are best when accompanied by offsets in plan.



Preferred Treatment

Roof overhangs are both practical and attractive. They give a house character and solar protection.



Overhangs of 6" or more must be used on the eave condition and the rake condition, with the exception that on lots of 80' or smaller a rake board and shingle molding may be substituted to give architectural detail. Overhangs should be boxed in if feasible.

Avoid exposing ends of rafters unless they are 4"x 6" or larger. Use a fascia of at least 1" x 6" size.

The roofs, as an expressive design element, should be kept as visually unobstructed as possible. Vent stacks and other necessary roof protrusions should be located away from public view, located, where possible, on the back side of the roof. All vent stacks and counter flashing, if not copper, must be painted to match shingles or flat black.

**3.10.8 Garage Treatment** In many single family home designs today an inappropriate emphasis is placed on the automobile entrance. This has become a dominant facade element which tends to undermine or destroy the overall character of the home's architecture and scale. It is important to the overall design and feeling of Meadowlands that this does not happen. The garage doors should not dominate the facade. When this occurs, the house generally adds little to the overall character of the street and the house entrance is visually overwhelmed.

**3.10.8.1 Garage Door Treatment** Roofs over the garage should be as low as possible, sloping toward the street. The highest roofs should not occur over the garage due to the added visual emphasis, especially when the doors face the street.

Treatment of detail on garage doors should be consistent with the overall character of the house. This may be accomplished with one or two well placed windows along the top of the garage door and by breaking up the mass with paneled construction, or with the use of two single doors divided by a column. This breaks up the expanse of the door into appropriately scaled architectural elements.



**Avoid**

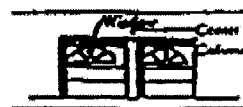


**Preferred Treatment**

All garage doors are to be a four panel design and of a color that matches the adjacent wall or trim. Darker colors are preferred over light colors. Windows are encouraged. No reflective film or foil is permitted on windows.



**Visually Uninteresting**



**Visually Interesting**



**3.10.9 Exterior Treatment and Materials** The following exterior materials may be used on dwellings and detached structures within Meadowlands:

\*BRICK- Medium to dark ranges in earth tone colors are preferred. Custom or speculative homes may be allowed to use colors outside the earth tone spectrum.

\*STONE

\*WOOD SIDING (The use of plywood siding however is discouraged.)

\*HARDBOARD CEMENT SIDING

\*STUCCO

\*ALUMINUM, VINYL OR WOOD WINDOW- Bronze or white finish if aluminum

\*VINYL OR PAINTED WOOD SHUTTERS

\*VINYL OR CEDAR SHAKES

\*VINYL SIDING- Will be permitted by the ARC on dwellings and detached structures located on lots that do not adjoin the golf course. Vinyl siding will not be permitted on dwellings or detached structures that are located on lots that adjoin the golf course.

\*ROOF MATERIALS - The color of roofing in individual villages shall be of consistent value. The only dimensional roofing allowed will be fiberglass composition shingle or real wood shingles with a 20 year warranty or better. No flat tab shingles will be allowed. The standard color allowed will be weathered wood or similar, although other colors may be granted by the ARC by exception only. Builders may submit alternative materials or colors for pre-approval.

Materials should be used with restraint in regard to both color and diversity of materials, generally favoring soft neutral tones. In general, builders should avoid placing houses painted the same color adjacent to each other. The intent is to create a continuity of materials throughout the neighborhood. In general:

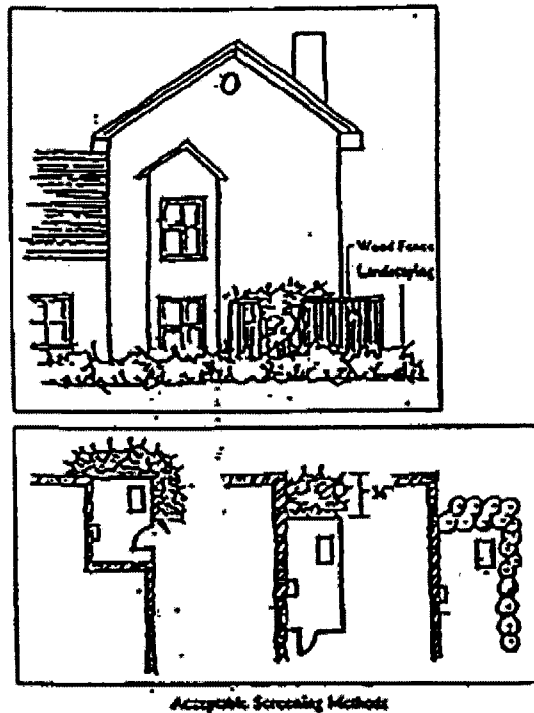
1. Board and batten is prohibited.
2. Horizontal (lap type) is preferred wood siding.
3. ~~Vertical siding is prohibited.~~ modified 6.29.17 See ATTACHED MODIFICATION
4. Rough sawn plywood is prohibited. Particle board siding is discouraged.
5. Diagonal siding is prohibited unless approved by the ARC.
6. Materials should be used to emphasize planes and volumes. When different materials adjoin, care should be taken to avoid the look of applied facing.
7. Soft, subdued earth tone paint colors should be used. Bold, primary or unusual colors are prohibited.
8. All wood must be painted or stained excluding decks and fences. Naturally weathered wood is prohibited in all cases.
9. No material change shall occur on an outside corner. The technique of "skirt fronting" of masonry veneer is not generally encouraged, but may be acceptable on a case by case basis.

**3.10.10 Roof Top Antenna and Satellite Dish** No exterior antennae, aerials, satellite dishes, or other apparatus shall be allowed on any portion of the lot, including any unit, without prior written consent of the ARC. Satellite dishes smaller than 39" placed other than on the front of the house, are acceptable with prior approval from the ARC.

**3.10.11 Pre-wired Home Wiring Specifications** Pre-wiring for cable TV is required in all homes.

**3.10.12 HVAC Equipment** No rooftop or window HVAC equipment is permissible.

Condensers, gas packs or other external HVAC equipment located on the side of the house or in the rear yard of a golf course lot must be screened from view with mature shrubs, opaque wood or masonry screens or other compatible building materials. Similar screening is required on all golf course lots and lots adjoining Meadowlands Blvd.



**3.10.13 Accessory Structures** All accessory structures must be approved by the ARC. Accessory structures which may be considered are gazebos, trellis shade structures, detached garages, in ground pools and cabanas. Other accessory structures will be considered by the ARC on an individual basis.

Aluminum screen rooms, structures incorporating some type of corrugated roofing material and storage sheds will not be allowed.

**3.11 Lighting** Exterior residential lighting for Meadowlands shall be designed to convey a warm inviting atmosphere and aid in providing night time security. Care is to be taken in placing fixtures, selection of fixtures and types of light source.

**3.11.1 General Responsibilities** Private lighting installed on individual lots shall not cause distraction, nuisance, or excessive spillover light to other lots. Decorative fixtures must be of high quality materials and workmanship and be in scale and style with the residence.

**3.11.2 General Design Standards** Sodium vapor lights, except for subdivision street lights are prohibited. Incandescent, low voltage incandescent, metal halide, quartz and natural gas lights are acceptable. **Security lights are to be located so as to be as unobtrusive as possible.** Security lights must be mounted on a structure. Pole mounted security lights are prohibited.

Colored lenses on low voltage lights, colored light bulbs, fluorescent and neon lighting are not permissible.

Exterior illumination to accent street numbers, architectural features such as columns, entries, chimneys, and landscape features is allowed. Spot lights are to be concealed from direct view and directed to prohibit light spillover onto adjacent property.

Driveway lighting should be soft and strategically placed within landscape areas.

**3.12**     **Pools and Spas**     Portable or permanent above ground type pools are prohibited. In ground swimming pools and small above ground spas or hot tubs are permitted, provided above ground spas incorporate skirting and landscaping, and provided all appurtenances (i.e.: specialty features such as sliding boards, skimmer nets and other long handled devices, pool chemicals, filters, pumps, heaters, plumbing, etc.) are screened from public view. All in ground pools are required to have a fence around them for security. Fences should be minimum of 4-foot in height (type of fence should follow fencing guidelines under section 3.13.2)

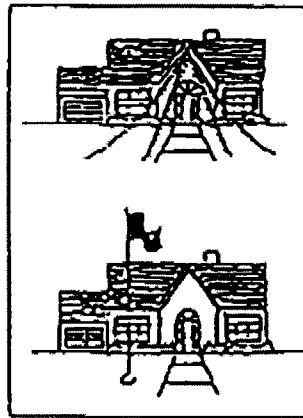
Privacy screens for pools or spas on lots abutting the golf course or common open space must be set back a minimum of thirty (30) feet from the rear property lines and must not exceed 1/3 the length of the rear property line unless otherwise approved by the ARC. Maximum privacy screen height is not to exceed six (6) feet above existing grade. Fencing material must be with masonry wall (compatible with the residence) or other screening material approved by the ARC. In all cases, any ARC approved fence plan used as a pool fence must also meet applicable Davidson County safety standards for pool fences.

Swimming pool appurtenances such as sliding boards must not be over six (6) feet in height.

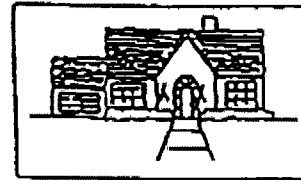
### 3.13 Furnishings and Materials

**3.13.1 Flags** No flagpoles are to be located on residential lots visible from plain view. Model Homes are the exception ( see section 3.16)

Flags may be displayed with flag staffs attached to residences. No more than two flags are to be exhibited on any residence at one time. Flag etiquette is to be observed. The ARC reserves the right to remove any flags deemed offensive to the community. Advertising flags are strictly prohibited. Model Home clusters may use banners pole mounted flags if approved by the ARC.



Not Acceptable



Acceptable

**3.13.2 Fencing** It is the intent of these guidelines to insure compatibility of fence design throughout the Meadowlands development by providing direction to homeowners for a harmonious use of fencing details and materials. There are three ARC approved fence designs included in this design manual, a wooden rail fence, a privacy fence and a privacy brick wall. Other types of walls such as stone and stucco or a combination thereof will be considered. Fencing adjoining the golf course or common open space/area must be constructed with one or more of the following materials: brick, stone, wrought iron, or aluminum (wrought iron design).

Each typical lot type is addressed with specific requirements for fence choice, layout connections to residences, commonly owned walls, various adjacent uses and corner lot conditions. These guidelines are designed to provide security and to establish aesthetic blending for all fences subject to public view.

The design and materials for each fence alternative have been carefully planned to provide options to homeowners while avoiding an eclectic and conflicting array of designs and materials. Homeowner must select fencing options as outlined in these guidelines and should consider function, economics, appropriateness for the village, and coordination with contiguous lots.

Chain link fencing is prohibited.

All fencing shall be erected at the option of the builder/owner. ARC approval of all fencing is required. A single fence shall be permitted between all contiguous lots sharing a common side or rear property line. Except for walls by the Developer, fencing will not be allowed within front yards, and shall tie into the main structure at least thirty-six (36) inches back from the plane of the front facade. Fencing along sidelines in front yards may be considered in some cases.

### 3.13.2 continued

No fencing shall be greater than six (6) feet in height and shall be less as specified under certain special conditions (lots on golf course, etc.). It is highly recommended that residents talk to their neighbors regarding location of fence (on or off property line).

Gates may be installed and shall be designed to be compatible and complementary to the wall/fence design.

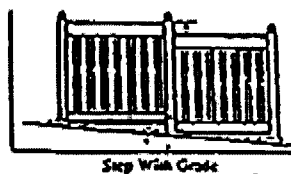
Should existing trees or other obstacles require adjustment to the fence location, the fence shall always be shifted in the direction of the private side.

All privacy fences installed along a side property line abutting a local residential street shall have a minimum fifteen (15) foot landscape buffer between the fence and the property line.

Fencing along the golf course or common open space is permitted with the following stipulations. The fence may not exceed forty-eight inches in height plus the crown (crowns will be higher). This fence must return down the side lot line a minimum of thirty (30) feet.

Constructed privacy screens (not fencing or natural screens such as shrubs, trees, etc.) on lots abutting the golf course or common open space must be set back thirty (30) feet from the property line adjacent to the golf course or common open space (typically the rear property line).

The recommended method for installing a fence on a slope is to stair-step a fence evenly with the grade. Fences may also be allowed to run parallel to the grade.



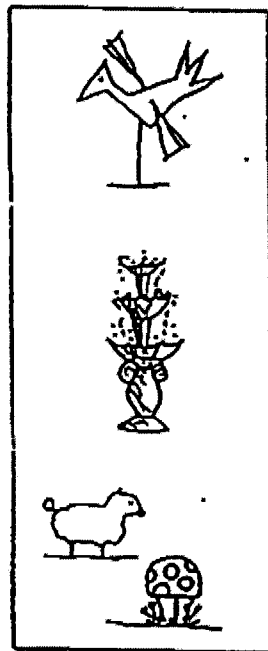
All wooden fencing must have the attractive side of the fence visible from the surrounding properties.

The ARC retains the right to approve every exception to the above.

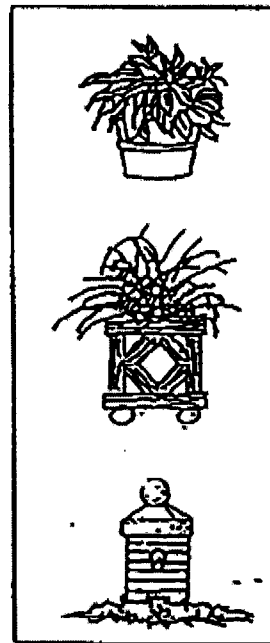
- 3.13.3 Garden Ornament** Garden ornaments best described as "kitsch" are not acceptable within public view. Use in areas such as backyards not open to public view is permitted. Use of any garden ornamentation within public view requires the approval of the ARC.

Reasonable decorations for holidays are acceptable, but must not be in place more than 30 days prior to an event and must be removed 15 days after the event.

Planters of clay or wood are acceptable- especially for displaying seasonal flowers. Natural clay, white, earth tone or pastel colors are acceptable- bright colored planters (blue, orange, etc,) especially of plastic are not permitted.



**Not Acceptable**



**Acceptable**

- 3.13.4 Mailboxes** Mail delivery service is available in Meadowlands. Mailboxes within the single family areas will be at the street in front of each lot.

Mailbox design will have continuity throughout a specific neighborhood area and will incorporate a mailbox acceptable by the U.S. Postal Service. Mailbox designs may occur as a neighborhood -wide theme and will require approval of the ARC. Only mailboxes approved by the ARC may be installed. It is the intent of the Developer to use standardized designed mailboxes in each neighborhood.

**3.14 Landscape Treatment** The landscape treatment for Meadowlands is intended to be a unifying element in the design of the overall community, helping to create a strong sense of place. The Meadowlands landscape treatment is intended to be naturalistic and free form, a softening and unifying element for the various architectural styles. Large areas of mature trees saved throughout the site in combination with individual required landscape treatments will help accomplish this and enhance the livability of the community.

**3.14.1 General Responsibilities** Any landscaping of common open spaces major street corridors and rights of way, project entry features and entries into neighborhoods is the responsibility of the Developer. The maintenance of these areas will be by the Homeowners Association. The master developer will review all plans for conformance to the landscape guidelines through the ARC.

The builder/owner is responsible for landscaping and maintaining all areas of his property (lot) as well as the portion of the street right of way between the property line and the street curb. The owner of the property is to adhere to these guidelines.

**3.14.2 Minimum Residential Tree Requirement.** The following minimum tree requirements pertain to all non-wooded lots or lots where trees are sparse or not planted in the front yards. These requirements must be satisfied within the front yard by the builder ( if new home) and by the owner (existing home).

\*Trees are to be healthy, quality specimen from qualified nursery.

\*Trees are to be minimum of 1-1/2" to 2" caliper measured 6" from the base of the tree.

\*Tree planting requirements are as follows:

- a) Four trees are required on all lots
- b) A minimum of two or more deciduous shade trees should be planted in the front of any non-wooded lot.

\*All front yard foundations and rear yard foundations on homes adjoining golf course shall be landscaped with three (3) gallon size shrubs as follows:

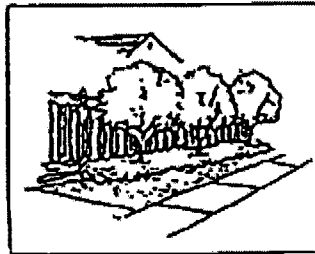
- a) Front yards of 80' wide lots or smaller at the front yard setback– 10 minimum
- b) Front yards of lots wider than 80' at the front yard setback – 15 minimum



**3.14.3 All New Homes- Builders Landscape Allowance** The budget for landscaping is 3/4th of 1% of the proposed sales price of the home. This allowance is for trees and shrubs alone (installed price)! All costs of grading, grassing, drainage, mulching, retaining walls etc. shall not be included in the budget.

**3.14.5 Corner Lot Planting Requirement** Privacy wall lines at corner lots are to be softened with landscaping. A 15' wide space should be left between the property and the fence to allow for adequate landscaping.

Corner lots with privacy fences on the side yard adjacent to the street must have planting between the fence and the property line. The minimum planting requirements are a medium shrub planted three (3) feet on center along the entire length and small mature trees planted ten (10) feet on center along the entire length of the fence.



Corner Lot Requirement

**3.14.6 Screening Requirements** When practical, all meters, air conditioning units, etc. are to be placed away from the public view, preferably in the rear or side yards. In absence of complete yard fencing, air conditioners, etc. in Meadowlands must be screened when in potential view of other structures or views from adjacent yards. This is the responsibility of the builder for new homes and residents for existing homes.

Hedges may be used for screens but initial plantings must be at least 3-gallon size shrub that will provide height (screening). Staggered spacing of shrubs for hedges makes a good screen. Screening with shrubs will not be accomplished upon initially planting-must give time for maturity.

**3.14.7 Plant Bed Edges** Plant bed edges such as corrugated aluminum, wire wicket fencing and railroad ties are unacceptable.

**3.14.8 Meadowlands Planting List** In general the builder/owner shall plant plants proven to be reliable, vigorous and disease resistant in this area.

**3.15 Signage and Graphics** All signs within Meadowlands shall be designed to provide consistent reinforcement of the Meadowlands character. Signs must communicate not only specific information, but should add to the attractiveness of the area. Through an organized system of signage, adequate direction to builder products will be achieved and the master developer will be able to present Meadowlands as a quality master planned community.

**3.15.1 General Responsibilities** Project level graphic identification, billboards and entry features, neighborhood entry wall graphics, temporary community directional sign and future facilities signs will be the responsibility of the Developer.

The builder/owner may erect one company sign ( 6 square feet maximum) of his own without prior written approval of the Developer.

The Developer may elect to furnish lot identification signs for the sake of establishing continuity to a lot signage program.

Other signage for use by the builder in conjunction with sales models or any other purpose must be pre-approved by the Developer, excepting signs of lot numbers, inspections, and real estate signs.

Homeowners reselling their homes are entitled to put up one 1 "For Sale" sign in the front yard and 1 in the backyard of homes on the golf course, Meadowlands Blvd, or other main arteries.

It is the responsibility of builders and homeowners to maintain any permitted signage in a neat, attractive manner. Any signage, which is not properly maintained, is subject to removal.

Permanent builder project entry signs and "bandit" signs will not be permitted within Meadowlands. Furthermore, all builders in Meadowlands must agree not to use "bandit" signs to Meadowlands along Highway 109, Motsinger Road or Friendship-Ledford Rd.

All signage within Meadowlands will use approved type- face or such type- face as established by the Developer, except individual builder permitted signs, unless otherwise permitted by the Developer.

Sign colors are to be selected to enhance quality. Bright orange, bright yellow and day glow colors are not acceptable. Color samples should be included in the ARC submittal prior to constructing signs.

**3.15.2 Project Logo** All uses of the project logo by parties other than the Developer are subject to approval of the Developer or as stipulated in contracts with the Developer.

**3.16 Model Home Area and Sales Office** Selection of all model home lots must be approved by the Developer. Model home lots are to be selected for best visibility; cul-de-sacs are good locations for viewing a model home cluster.

With the exception of the sales offices in a garage, the model should be presented as much as possible as the finished product would be sold.

Gazebos and footbridges in front yards, as large decorative appurtenances, may detract from the model homes and are discouraged. Planters, flower pots, benches and other small decorations can provide a sense of scale and "lived in" appearance. The use of annual flowers is encouraged.

It is expected that landscape planting should exceed minimum requirements for other lots.

Signage for each model home must be pre-approved by the ARC. If placed on corner lots, the sign must be located within the property line and within the side-yard setback. The sign cannot obstruct sight triangles at an intersection.

In general, posts or framework are to be concealed or otherwise aesthetically treated. Base of signs should be enclosed with lattice or other suitable material or covered by shrubs.

Trap fencing is permitted, but must be of the same metal picket design as golf course fences. Other types of fencing may be given consideration by the ARC if the overall concept of the model home cluster requires variance. Split rail type fencing is not permitted.

No advertising flags are permitted.

Exterior fluorescent lighting is prohibited.

The building of model homes and any associated parking lot require ARC approval of site plans.

When model homes are vacated for sales purposes, they are to be converted to standard family residences. The ARC is to approve all aspects of conversion. Sales offices must be put back to a condition of typical units in the builder product line, i.e., French doors in garage walls are not permitted to remain but must be bricked in or replaced with operating garage doors or partially bricked and windowed. The conversion must return the model home to conformity with all design guidelines applicable to non-model homes.

- 3.17**    **Foundations**    Foundations must be faced with brick, stone or stucco. Other materials must have the approval of the ARC.

**CHAPTER FOUR                      MULTI-FAMILY DEVELOPMENT GUIDELINES**

**4.0** The ARC shall approve the initial plans and site plans for the multi-family (townhouse) neighborhoods. Those single-family guidelines, which the ARC believes to be applicable to multi-family (townhouse) construction, will be used when approving the plans.

**CHAPTER FIVE**

**GOLF VILLA DEVELOPMENT GUIDELINES**

- 5.0** The ARC shall approve the initial plans and site plans for the golf villa neighborhoods. Those single-family guidelines, which the ARC believes to be applicable to golf villa construction, will be used when approving the plans.

## **CHAPTER SIX**

## **APPROVALS AND SUBMISSIONS**

**6.0** Any and all development of parcels or individual lots within Meadowlands must first be approved by the Architectural Review Committee (ARC) prior to commencing construction. Complete plans must be submitted to the ARC for review. The review will occur in a timely manner as outlined and will be for compliance with these guidelines. Plans will be reviewed on a timely basis. Approvals will be stamped clearly on the building plans labeled "Approved" or Approved as Modified".

**6.1 General Responsibilities.** The ARC is responsible for providing a concise timely review of submitted plans and specifications. Plans and specifications will be reviewed for conformance with Meadowlands Design Guidelines and the Declaration of Covenants, Conditions and Restrictions for Meadowlands

The builder/owner is responsible for conformance with the Design Guidelines and Declaration of Covenants, Conditions and Restrictions. Upon approval by the ARC, the builder/owner is responsible for conforming to the approved plans and specifications. Construction of new homes must be reviewed and approved the ARC prior to any construction on any residence. The only exception is interior modifications. Additions and alterations must be submitted to the ARC.

**6.2 Submission Requirements** The builder/owner is required to submit complete and accurate design and construction documents for examination by the Architectural Review Committee (ARC). A completed Application for Construction and submission checklist must accompany two sets of plans containing all required information per the checklist.

***An Application for Construction and Submission Checklist is available from the Meadowlands Architectural Review Committee. Plans and Specifications shall be delivered to:***

***Hubbard Commercial, LLC, 1598 Westbrook Plaza Dr. Suite 200 Winston-Salem, NC 27103***

***Each submittal shall consist of two (2) sets of blue-line prints, site plan and supplementary material specifications, if not on the drawings.***

The Architectural Review Committee shall review each submittal and approve or disapprove it in writing with recommended revisions to those aspects of the plans that are inconsistent with the design guidelines. Plans will be reviewed for approval only after all required information has been completed on the Submission Checklist. Please allow a minimum of ten (10) working days for the review to take place.

If plans are not approved, a "Request for Additional Information" form will be sent to the Applicant to be completed. A satisfactory review of additional information will result in approval. A set of plans stamped "Approved" or Approved as Modified" will be delivered to the Applicant when finalized. All labeled modifications must be complied with to maintain an "Approved" status.

Construction shall proceed only after written approval of the final set of drawings and specifications. Unapproved changes that occur during the actual construction that differ from approved design will required alterations at the builder/owners expense to restore compliance with approved drawings.

The builder/owner has complete responsibility for compliance with all governing codes and ordinances. Approval by the ARC shall not constitute approval by any other agency.

**MODIFICATION OF DESIGN GUIDELINES FOR MEADOWLANDS  
RESIDENTIAL AND GOLF COMMUNITY**

**WHEREAS**, Meadowlands Development, LLC (Developer) has caused design guidelines to be promulgated in conjunction with the establishment of architectural review guidelines and restrictive covenants pertaining to all properties within the Meadowlands residential and golf community, and


**WHEREAS**, Developer retained the sole authority to modify said design guidelines in its sole discretion, and is desirous of modifying the design guidelines at this time,

**NOW, THEREFORE**, Developer hereby does modify said design guidelines as follows:

Section 3.10.9 (3) "Vertical siding is prohibited." is removed in its entirety, and replaced with Section 3.10.9 (3) "Accent vertical siding may be approved by the Architectural Committee for use on a portion of exterior walls."

**IN WITNESS WHEREOF**, Meadowlands Development, LLC has caused this modification of Design Guidelines to be executed this 29<sup>th</sup> day of June, 2017.

**MEADOWLANDS DEVELOPMENT, LLC**

BY:   
**BRUCE R. HUBBARD, ITS MANAGER**