

“The Heritage”

of Meadowlands Residential and Golf Community

DATE: June 28, 2016

RE: DISCLOSURE OF PRIVATE SANITARY SEWER FORCE MAIN SYSTEM

The sanitary sewer collection and treatment system in Meadowlands is currently a private system regulated by the North Carolina Utilities Commission. The effluent from all of the homes in Meadowlands is pumped via a force main from the development's master pump station into Forsyth County for treatment in accordance with an agreement among Meadowlands Development, LLC, Davidson County and Forsyth County.

The Heritage community has a unique private sanitary sewer collection system that is connected to this force main system. A sanitary sewer connection has been installed at each Heritage lot at the front property line. Homeowners in The Heritage, at their expense, will need to install and maintain a sanitary sewer pump, an underground sewer vault and a portion of a force main line within the boundary of their own lot to carry the effluent from their respective homes through the underground sewer vault with pump to the sewer connection at their lot. From there the effluent travels to the development's master pump station and is ultimately treated in Forsyth County under the same agreement as for all of the other Meadowlands homes.

The owner of the overall private sanitary sewer system for the entire Meadowlands development shall be responsible for the maintenance of the sanitary force main located within the street right of ways in The Heritage up to and including the connection at the property line. The Homeowners shall be responsible for maintaining the aspect of the system within their lot boundaries. The charges for the monthly sewer treatment will be the same for The Heritage lots as for all other Meadowlands lots.

BUYER:

date: _____

date: _____

MEADOWLANDS—THE HERITAGE—SEWAGE DISPOSAL SYSTEMS

June, 2017

Because of the topography of The Heritage relative to the rest of Meadowlands' sewage collection/disposal system, it is necessary to use on each individual lot a low-pressure septic tank/effluent pump (STEP) system. Each individual lot owner will be responsible for the installation and operation of that particular lot's STEP system. The following is pertinent information as to the requirements for each system and the expectations for each lot owner's participation in this STEP process. Based on the information provided by the design engineer for this system, the developer Meadowlands Development, LLC has secured the services of Ramey, Inc., a local licensed utility contractor and plumber, to provide to the lot owners, if requested, a site visit to the lot resulting in a proposal for the installation of this type of system. It is NOT mandatory that Ramey, Inc. be used for this work. Should another contractor be chosen, the developer, as operator of the sewerage collection system for Meadowlands, will provide to each lot owner the pertinent specifications and requirements for the system. The following is an overview of what the system is and how it should be installed.

COST and COORDINATION WITH HOME PLACEMENT

Based on the Ramey, Inc. installation, each STEP system, as installed, will cost approximately \$5,500-\$6,000 depending on the placement of the various parts of the system and the necessity to clear additional areas or use special installation equipment. The requirements for the actual placement are set out later. The needed material and equipment are listed hereafter. Should you decide to use a contractor other than Ramey, Inc., your chosen contractor for installation of the system, including electrical needs, should be familiar with this type of system before attempting to install the system.

A connection to The Heritage sewer force main will be provided at the edge of each lot. The contractor will install the system in and around your home to make use of the provided connection. The Meadowlands sewer maintenance operation will be responsible for maintenance and repair up to the connection. The homeowner will be responsible for the repair and maintenance of all of the STEP system that connects to the home from the provided connection.

Since each lot is different, the coordination of the placement of the system relative to the home placement/lower floor elevation needs to be determined early in the process. The system needs to be positioned so that it does not interfere with any aspect of the home, driveways, landscaping or outbuildings. And it needs to be positioned so that the natural gravity needs of the home are considered and used in their most efficient manner. The effectiveness of the operation of the system is vitally important to your satisfaction as a homeowner so **DON'T MAKE THIS INSTALLATION A LAST-MINUTE DECISION!**

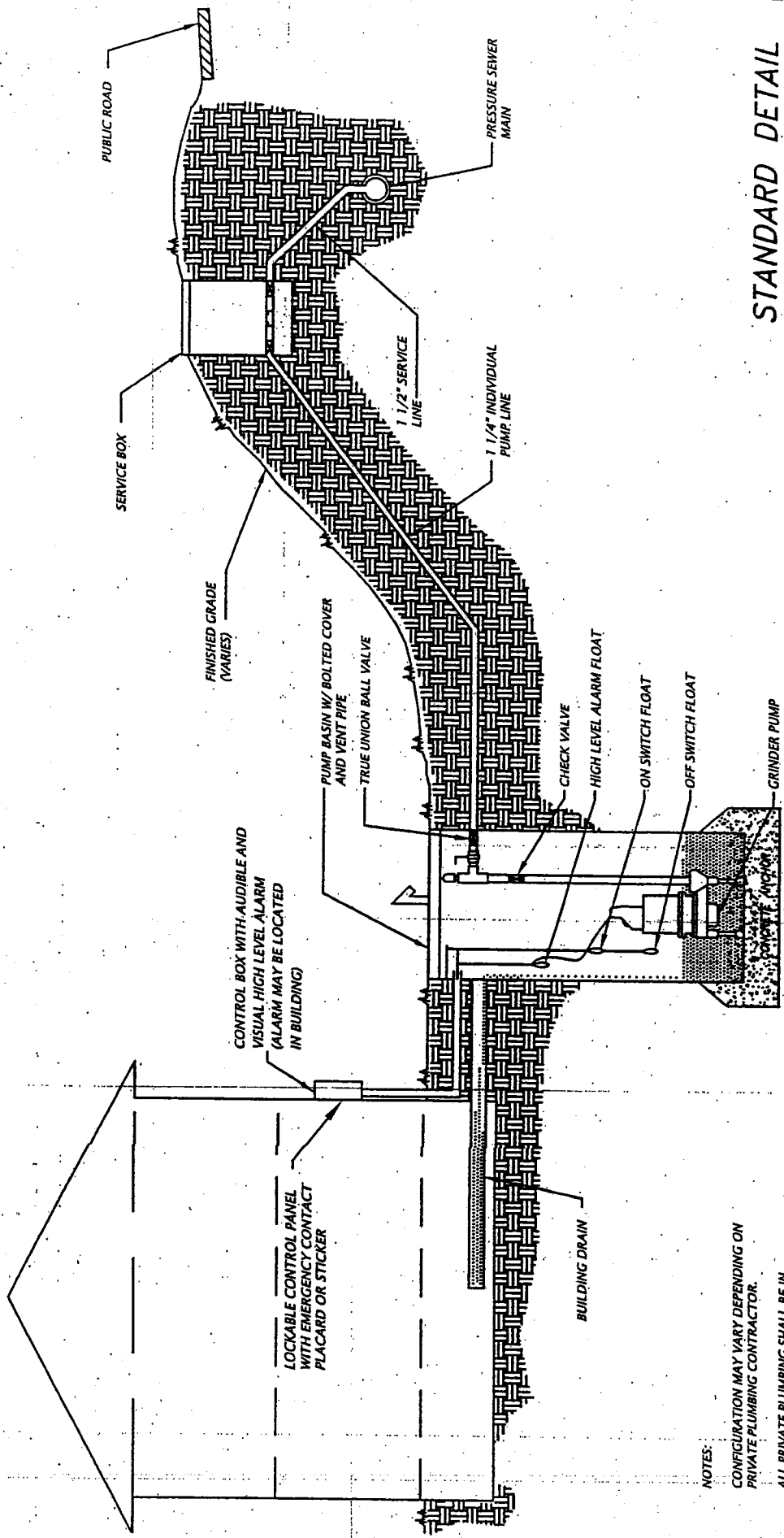
MEADOWLANDS DEVELOPMENT, LLC IS NOT A LICENSED UTILITY CONTRACTOR OR PLUMBER NOR IS IT A BENEFICIARY IN ANY MANNER OF THE WORK TO BE DONE TO PROVIDE THIS LOW-PRESSURE SYSTEM TO HOMEOWNERS IN THE HERITAGE. IT MAKES NO WARRANTIES OR GUARANTEES ABOUT EITHER THE DESIGN AND OPERATION OF THE INDIVIDUAL LOT SYSTEMS OR THE QUALITY OF THE WORK OF RAMEY, INC. OR ANY OTHER INSTALLER. THIS INFORMATION IS PROVIDED AS A SERVICE TO THE HERITAGE COMMUNITY AND THE OWNERS OF EACH LOT IN THE HERITAGE.

HOW THE INSTALLATION PROCESS WORKS

- A. Needed labor, equipment and materials:
1. Plumbing Contractor to purchase and install tank, pump and lines necessary to the system
 2. Electrical contractor needed to install the electrical panel and necessary wiring for both temporary and final electrical service
 3. Permits from Davidson County, if required, for the electrical connection inspection and pump/tank installation must be obtained
 4. Tank, pump, piping, conduit, electrical panel to be purchased
 5. Excavating equipment for tank and lines needed
 6. Stone to support/bed tank and lines brought on-site
 7. Tracer tape for locating underground lines
 8. The general contractor for the house must provide plumbing/electrical connections from the home for the STEP system
- B. Recommended general Installation Criteria:
1. Tank location approximately 10 feet or more from home foundation
 2. Initial stub-out for wastewater drain from the home at least 5 feet outside foundation
 3. Tank and pump buried into the ground with access above ground
 4. Building contractor must provide 2 dedicated electrical circuits (one for the pump and one for the pump float and alarm warning) through the exterior foundation, all recommended in a single sleeve
 5. Electric panel 30-36" above final grade and attached to the home or a permanent post
- C. Recommended Installation Process
1. Excavate and set tank with pump. Excavate wiring path approximately 18" deep from tank with pump to the control panel. Excavate pressure-line path approximately 18" deep from tank/pump to street (including tracer tape)
 2. Install electrical conduits and wire from panel to tank with pump. Install pressure-line and pressure test. Engineering and installation inspection, if required, of tank, stone, level, risers, pressure-line pressure test. Visually inspect and photograph installation. Call for electrical underground conduit inspection if required
 3. Complete connection of waste-water drain-line to tank with pump. If required, call for plumbing underground waste-water inspection for connection to tank with pump.
 4. Tank with pump will be partially backfilled leaving electrical conduit and plumbing connections visible for inspection if required
 5. Complete the backfilling and rough grading
- D. Additional Helpful Information
1. STEP system tanks with pumps used by Ramey, Inc. are approximately 5 feet in height and 24-36" in diameter and are designed to be installed vertically with an access hatch at the top with a built-in vent. Finished grade is expected to be at least 3" to 18" below the top of the tank
 2. It is important that no foreign matter, noxious materials, solvents or other controlled substances and dangerous or damaging chemicals are introduced into the system either during installation or afterwards during use. The cost of repairs can be expensive

3. After a Certificate of Occupancy has been issued, application for permanent power and phone service is appropriate
4. Attached are sheets showing diagrams and specifications for the installation as provided by the design engineer for the low-pressure sewer system
5. Information about the low-pressure system materials (with sources of supply) to be used by Ramey, Inc. (and recommended by the design engineer for the system) are available upon request from the operator of the Meadowlands sewer collection system or Ramey, Inc.

NOTE: THE CONTROL PANEL MUST BE LABELED WITH THE NAME AND PHONE NUMBER OF THE 24-HOUR EMERGENCY CONTACT.



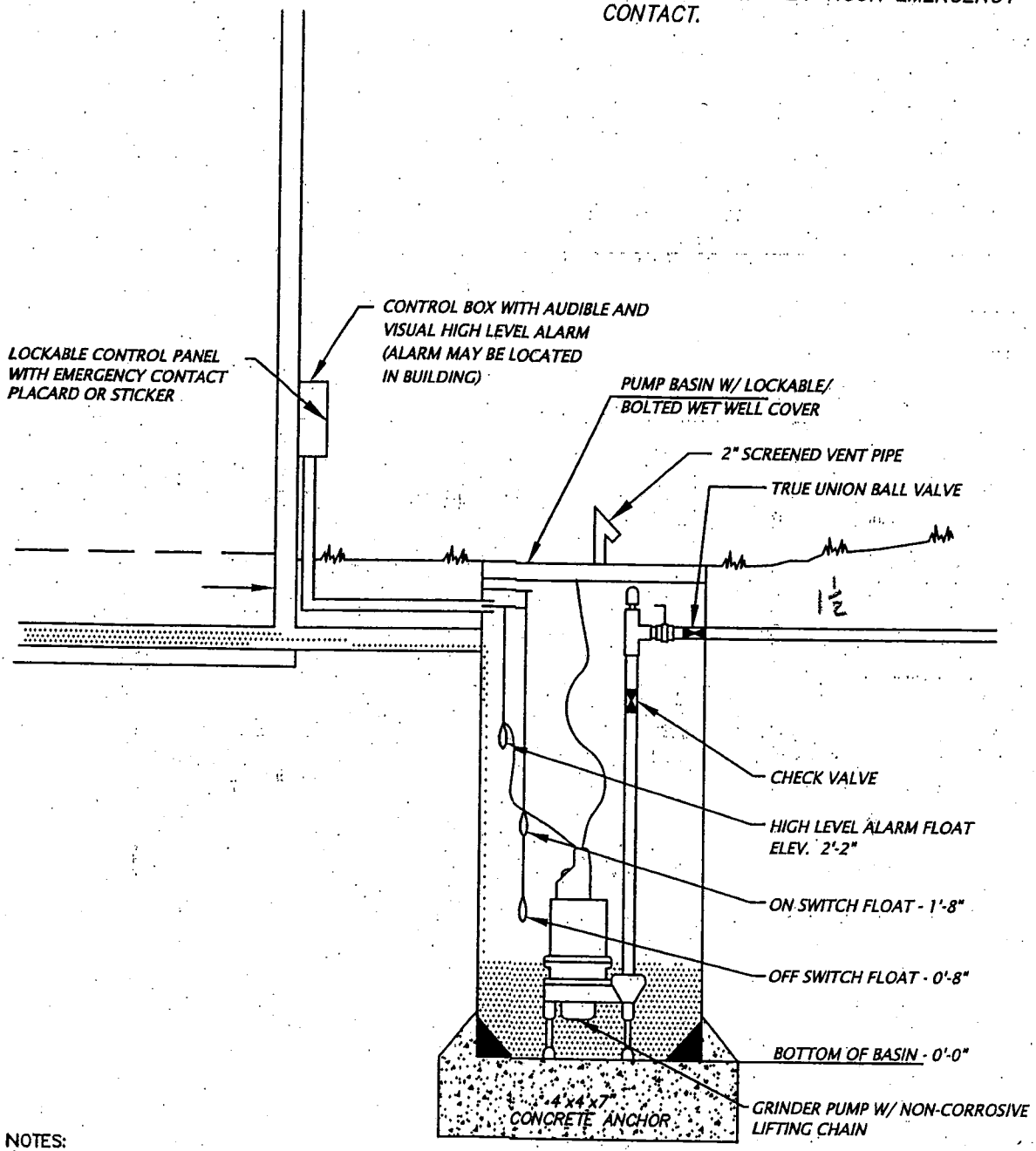
STANDARD DETAIL
PRESSURE SEWER
INDIVIDUAL GRINDER
PUMP SYSTEM

NOTES:

CONFIGURATION MAY VARY DEPENDING ON PRIVATE PLUMBING CONTRACTOR.

ALL PRIVATE PLUMBING SHALL BE IN ACCORDANCE WITH NORTH CAROLINA BUILDING CODE.

NOTE: THE CONTROL PANEL MUST BE LABELED WITH THE NAME AND PHONE NUMBER OF THE 24-HOUR EMERGENCY CONTACT.



NOTES:

1. FIBERGLASS RESIN BASIN (6' DEEP), GRINDER PUMP STATION AND CONTROL BOX WITH AUDIBLE AND VISUAL ALARM.
2. KEEN KG2-21 2 H.P. PUMP
SEE SEWER PLANS FOR PUMP REQUIREMENT FOR EACH LOT.
3. FIBERGLASS BASIN DIMENSIONS: 6' DEEP; 3' DIAMETER

**STANDARD DETAIL
PRESSURE SEWER
GRINDER PUMP STATION**

Meadowlands Residential and Golf Community
Davidson County, N.C.
Sanitary Sewer System
March, 2005
(Revised 6/1/16)

The sewage disposal system for the Meadowlands Residential and Golf Community was designed and installed per the requirements and specifications of the State of North Carolina and Davidson County. It is comprised of collector piping, pump stations, and force main which together make up the system of collecting the sewage and transporting it for appropriate treatment.

The treatment of the sewage is being provided by the City/County Utility Commission of Forsyth County under a contract between Meadowlands Development, LLC (developers) and Forsyth County. The Davidson County Commissioners have approved this arrangement and participated to the extent they have designated sewage treatment volume that they have with Forsyth County to this project.

Meadowlands Development, LLC is responsible for the cost of installation of the system of sewage disposal. Until such time as a new owner/operator becomes responsible for the system, the developers are responsible for the maintenance and upkeep of the sewage disposal system.

The monthly fees for the homeowners in the Meadowlands community connected to the sewage disposal system shall consist of three aspects: monthly usage for the treatment of the sewage, maintenance, repairs, and administration of the system as it operates, and a reserve for the future replacement of any failed parts of the system, including underground piping, pump station accessories and equipment, as well as purchase of necessary equipment and materials to handle the required operating needs of the system.

As approved by the North Carolina Utilities Commission, the monthly fee for sewer service for a residential unit will be \$45.31 per month. This utility fee will be collected by the responsible entities once a home is hooked up to the system. Increases are anticipated as costs for services also increase.

The developers will provide the new owner/operator, when it takes over responsibility, with any accumulated reserve account to cover the expected needs for succeeding years. After turnover, the new owner/operating company will help set its fees to cover the same three elements making up the monthly charges, including additions to the required reserves. They will operate the system as directed by the terms of operating permit.

The ongoing operation, including rate setting, shall at all times be monitored and directed by the North Carolina Utilities Commission.

MEADOWLANDS RESIDENTIAL AND GOLF COMMUNITY
Davidson
County, North Carolina
Commonly asked sanitary Sewer Question
March, 2005
(Revised 6/1/16)

- QUESTION:** Who owns and operates the sewer disposal system?
ANSWER: Initially, the Developers of Meadowlands will own the system and operate it through experienced subcontractors. After the development has a substantial number of residents, another entity will take over the ownership and operation and will in all likelihood use the same experienced professionals to continue the operation. The effluent will be treated at a plant in Forsyth County owned and operated by the Winston-Salem/Forsyth County Utilities Commission in accordance with the Agreement between the developers and the Commission;
- QUESTION:** How much will my monthly sewer bill be and how is it calculated?
ANSWER: As approved by the North Carolina Utilities Commission, the monthly fee for sewer service for a residential unit will be \$45.31 per month. Additionally included in the monthly bill will be monies to cover administrative costs (billing, office overhead, permits, accounting, insurance and taxes), maintenance of the system (including equipment, materials, vehicles and subcontractor personnel), and a reserve amount to be accumulated and used for future replacement needs of the system;
- QUESTION:** Is my monthly fee my only charge?
ANSWER: Yes
- QUESTION:** Is any governmental entity overseeing this sewer system operation?
ANSWER: The North Carolina Utilities Commission oversees the operation of any sewer system such as this in North Carolina. The operators must receive approval from this Commission to increase rates or assess the system users. Additionally, the North Carolina Department of Environment and Natural Resources oversees the actual physical operation of the system through periodic inspections and reporting requirements. They also respond to complaints concerning the operation of the system.
- QUESTION:** Is my water service treated the same way?
ANSWER: Yes and No. Davidson Water Company provides water to the homes in Meadowlands. They will send a bill for water usage only. Included in their charges are similar cost items associated with water services. They have their own meters for water usage separate from the sewer services. They are also overseen by the North Carolina Utilities Commission and the Department of Environment and Natural Resources. They have a separate charge for a water meter, which is paid when the water is hooked up to the residence.
- QUESTION:** Exactly where does the sewer system stop and my plumbing start?
ANSWER: The sewer disposal system is made up of pump stations, forcemains, collector lines, and services to each lot. On the sewer system at the street right-of-way (or possibly at the rear of a lot) is a sewer connection. Your plumber will hook your individual house onto this service connection at the appropriate time. Any repairs or problems that you experience between your house and the sewer connection at the right-of-way or sanitary sewer outfall along the rear of the property are your responsibility. The developers and later any subsequent owner/operating company are responsible for the overall system: your responsibility is for your own system;
- QUESTION:** How long will the rates remain the same?
ANSWER: Rate changes are based on changes in operating costs such as treatment costs, insurance, equipment, taxes, materials, and subcontractor costs. Any changes must be submitted to the North Carolina Utilities Commission for approval and implementation. While increases are expected, their frequency, by past historical evidence, is not often.